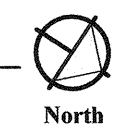


**1 OVERALL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

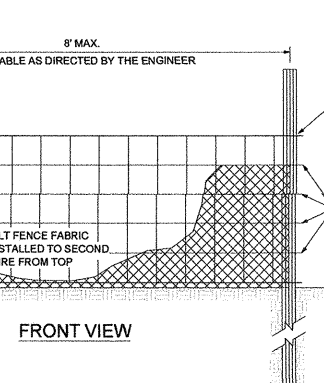
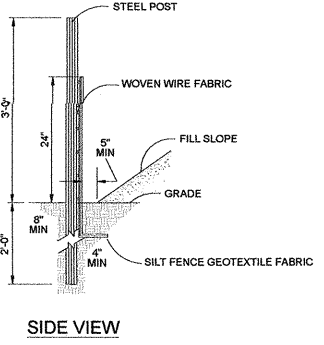


**NOTES:**

- Existing sidewalks and curbs (no work)
- Existing 30" wide entrance (no work)
- Existing catch basins and storm water drainage (no work)
- Existing landscaping and trees (no work)
- Existing 30" joint access easement
- Existing 15" water service easement, 8" water line (no work)
- Existing 1" domestic water meter and service with backflow prevention device (no work)
- Existing 8" sewer (no work)
- Existing trees to remain, typical. Trees to protected per Sound Urban Forestry, LLC Case #22-053. Precon required prior to start of construction.
- Existing trees to be protected during construction.
- Existing parking lot lights (no work) Existing fire hydrant (no work)
- Relocated light bollard
- Existing trees to remain, typical
- New or existing 4" concrete sidewalk with 18" drain rock border
- Remove sidewalk
- New concrete sidewalk with 18" drain rock to match existing
- 4 x 8 donator bricks, sand set over 4" sand with 12" concrete border
- Pet Therapy Area, XLX Turk Artificial Grass Tiles, self-draining over 4" sand with bark borders
- Existing or new Planter beds
- (7) 1 gallon Gautheria Sallon: Salal (match existing)
- (2) 2 gallon Hydrangea Paniculata: Pink Diamond
- (20) 2 gallon Emerald Green Arborvitae (trimmed to 3')

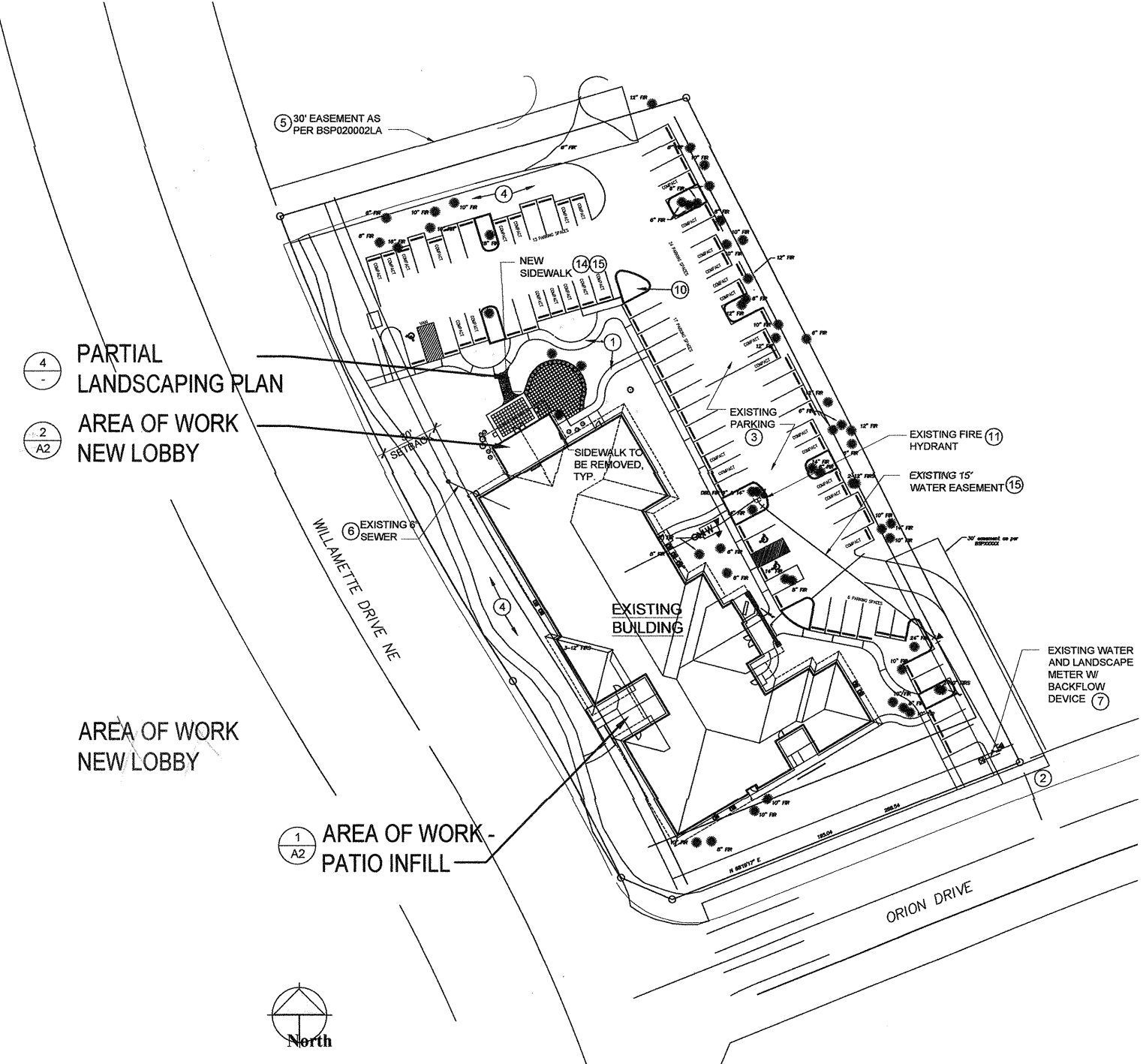
**CONSTRUCTION SEQUENCE:**

- SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE CITY OF LACEY
- PREPARE AND IMPLEMENT A TRAFFIC CONTROL PLAN APPROVED BY CITY OF LACEY, IF REQUIRED
- NOTIFY ALL UTILITY COMPANIES PRIOR TO EARTHWORK AND CONSTRUCTION ACTIVITY
- DELINEATE AND FLAG ALL CLEARING LIMITS. INSTALL FILTER FABRIC FENCE PER CITY STANDARDS. INSTALL SILT FENCE 5' OUTSIDE BUILDING EXPANSION PER DETAIL THIS SHEET. TREES IN EXPANSION AREA TO BE PROTECTED WITH ORANGE MESH
- PROTECT ALL EXISTING CATCH BASINS AND INSTALL SILT SOCKS IN THE VICINITY OF THE PROJECT
- CLEAR AND GRADE SITE
- CONTINUOUS MAINTENANCE AND UPGRADE T.E.S.C. MEASURED INCLUDING DUST CONTROL SHALL BE PROVIDED DURING CONSTRUCTION
- CLEAN STORM DRAINAGE SYSTEM AND DISPOSE AT AN APPROVED LOCATION AS REQUIRED DURING CONSTRUCTION
- MAINTAIN E.S.C. FACILITIES UNTIL ALL RISK OF EROSION / SEDIMENTATION HAS PASSED AND STORM SYSTEM HAS BEEN CLEANED. REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL AFTER FINAL SITE STABILIZATION

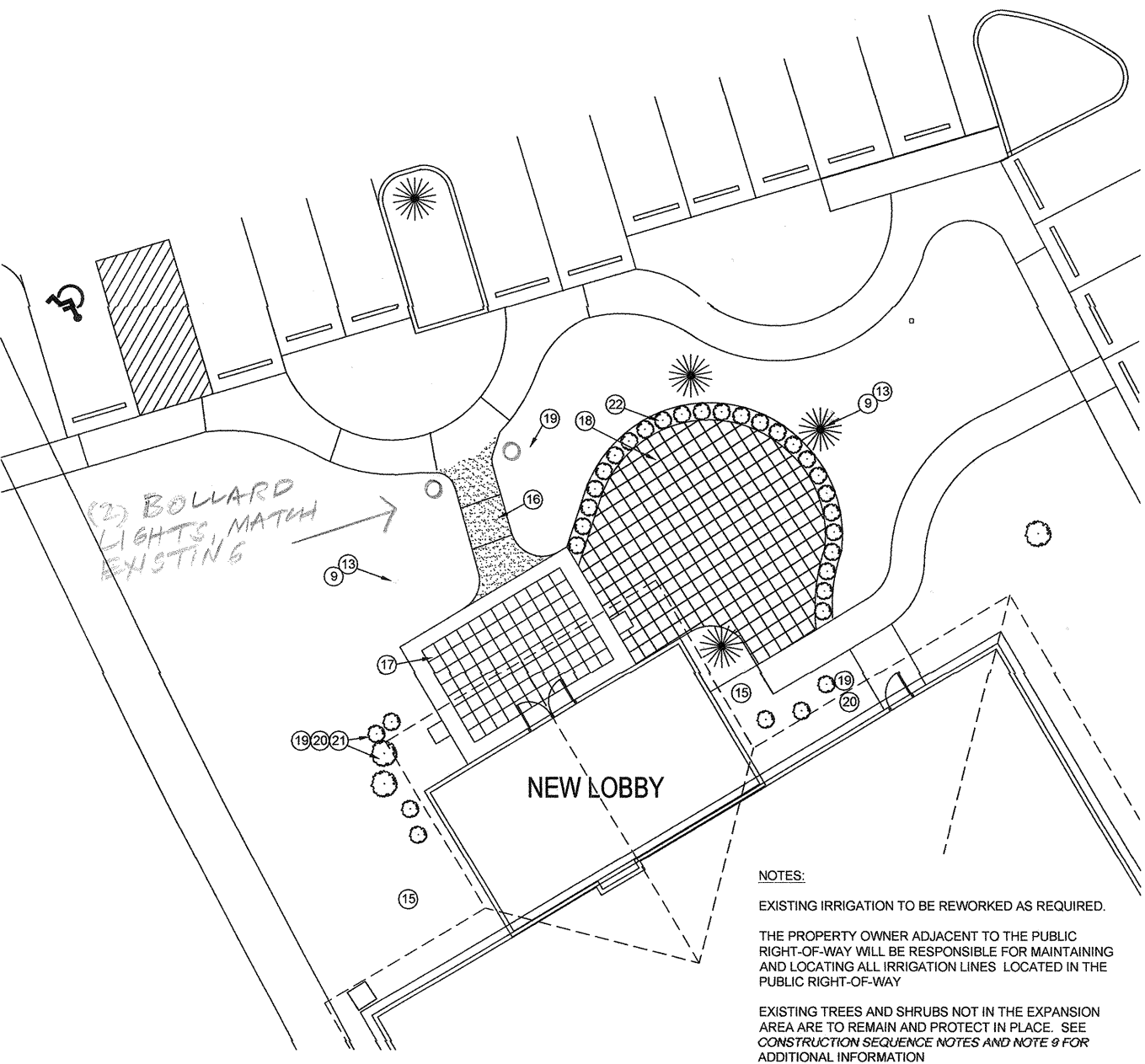
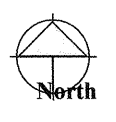


- NOTES:**
- FLOW SHALL NOT RUN PARALLEL WITH THE FENCE.
  - END OF SILT FENCE NEEDS TO BE TURNED UP HILL.
  - SEE NG DEQ SEDIMENT DESIGN MANUAL FOR CONSTRUCTION SPECIFICATIONS, WHERE PRACTICE APPLIES AND PLANNING CONSIDERATIONS.
  - SILT FENCE SHOULD NOT BE USED ALONE BELOW GRADED SLOPES GREATER THAN 10% HEIGHT.

**3 CONSTRUCTION SEQUENCE**  
SCALE: NONE



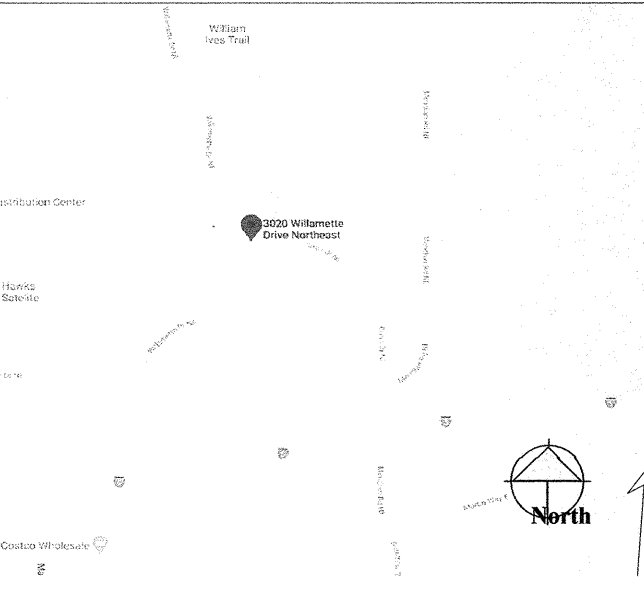
**2 SITE PLAN**  
SCALE: NTS



**4 LANDSCAPE PLAN**  
SCALE: NTS

- NOTES:**
- EXISTING IRRIGATION TO BE REWORKED AS REQUIRED.
  - THE PROPERTY OWNER ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL BE RESPONSIBLE FOR MAINTAINING AND LOCATING ALL IRRIGATION LINES LOCATED IN THE PUBLIC RIGHT-OF-WAY
  - EXISTING TREES AND SHRUBS NOT IN THE EXPANSION AREA ARE TO REMAIN AND PROTECT IN PLACE. SEE CONSTRUCTION SEQUENCE NOTES AND NOTE 9 FOR ADDITIONAL INFORMATION

**VICINITY MAP**



**PROJECT INFORMATION**  
1,375 SQFT EXPANSION TO THE COMMUNITY ACTION COUNCIL BUILDING FOR THE MONARCH CHILDREN'S JUSTICE AND ADVOCACY CENTER

**ADDRESS**  
MONARCH CHILDREN'S JUSTICE AND ADVOCACY CENTER  
3020 WILLAMETTE DRIVE NE  
LACEY, WA 98516

**LEGAL**  
PARCEL A OF THE CITY OF LACEY BOUNDARY LINE ADJUSTMENT NO. BLA040011LA, BEING A PORTION OF SE 1/4 OF THE NW 1/4 OF SECTION 1, TOWNSHIP 18 NORTH RANGE 1 WEST, NW

**PARCEL**  
11801240400

**BUILDING INFORMATION**  
EXISTING BUILDING: 16,997 SF  
NEW LOBBY: 700 SF  
PATIO INFILL: 675 SF  
TOTAL: 18,372 SF

**PARKING**  
REQUIRED: 36 SPACES (2 PER 1000)  
EXISTING PARKING: 76 SPACES

**BUILDING DATA**  
OCCUPANCY: B  
CONSTRUCTION TYPE: TYPE V, FIRE SPRINKLERED

**BUILDING CODES**  
Construction shall conform with all of the codes and ordinances of the City of Lacey, including:  
International Building Code, 2018 Edition,  
(Washington Administrative Code 51-50 and Lacey Municipal Code 14.04);  
International Residential Code, 2018 Edition, (WAC 51-51 and LMC 14.04);  
Uniform Plumbing Code, 2018 Edition, (WAC 51-57 and LMC 14.05);  
International Fire Code, 2018 Edition, (WAC 51-54 and LMC 14.07);  
International Mechanical Code, 2018 Edition, (WAC 51-52 and LMC 14.05);  
International Fuel Gas Code, 2018 Edition, (LMC 14.05);  
International Performance Code for Buildings and Facilities, 2018 Edition, (LMC 14.03);  
International Existing Building Code, 2018 Edition, (LMC 14.15);  
International Property Maintenance Code, 2018 Edition, (LMC 14.16);  
WA State Energy Code, 2018 Edition, (WAC 51-11);  
National Electrical Code, 2020<sup>®</sup> Edition, as amended by the State Department of Labor and Industries and the City of Lacey (WAC 296-468 and LMC 14.13);  
ICC A117.1 - 2009

**PROJECT TEAM**  
**OWNER:**  
COMMUNITY ACTION COUNCIL  
3020 WILLAMETTE DRIVE NE  
LACEY, WA 98516  
KIRSTEN YORK  
EMAIL: KirstenY@caciml.org  
PHONE: 360.436.1100

**ARCHITECT:**  
STEVEN PLATT ARCHITECT  
EMAIL: stevenplattarchitect@outlook.com  
PHONE: 360.791.4267

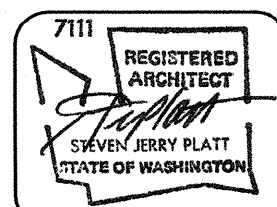
**STRUCTURAL ENGINEER:**  
Mitchell Engineering Inc.  
7821 168TH AVE. NE  
REDMOND, WA 98052  
Email: mitchellengr@comcast.net

**CIVIL ENGINEER:**  
Iris Group PLLC  
299 N Market Blvd  
Chehalis, WA 98532  
Email: iristaylor@irisgroupconsulting.com  
PHONE: 360.688.1302

**SHEET INDEX**  
C1 STORMWATER SITE PLAN AND NOTES  
C2 CIVIL DETAILS  
A1 SITE PLAN / PROJECT DATA / OVERALL BUILDING PLAN / LANDSCAPE PLAN  
A2 PARTIAL FLOOR PLANS AND BATHROOM ELEVATIONS  
A3 ELEVATIONS / SECTION / PARTIAL ROOF PLAN  
A4 FRAMING DETAILS, SECTION CUT, REFLECTED CEILING PLANS  
A5 FOUNDATION AND FRAMING PLAN, DETAILS  
A6 DETAILS AND NOTES

**NOTES**  
The project shall comply with all applicable requirements (ICC A117.1-2009)  
The required fire-flow for the building shall be not less than 1,500 gpm, in accordance with IFC Appendix B. Said fire-flow is based on an 8,000 square foot building of Type V-B Construction including a 50% credit for the installation of automatic fire sprinkler systems (IFC Section 507.1, LMC 14.07.015)  
An approved addressable fire alarm system with supervised monitoring shall be provided throughout the building in accordance with the City of Lacey Municipal Code and NFPA-72 Standards (2015 Edition)  
Approved 12' address numbers shall be provided on the building in a location facing the fire apparatus access roadway (IFC Section 505.1, LMC 14.07.015)  
Fire extinguishers shall be provided every 75 feet in accordance with LMC 14.07 and IFC Chapter 9.

REVISIONS	BY



**Community Action Council Expansion**  
3020 WILLAMETTE DRIVE NE LACEY, WA 98516

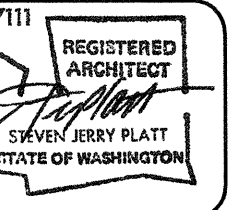


**DRAWING:**  
SITE PLAN / PROJECT DATA  
OVERALL BUILDING PLAN  
AND LANDSCAPE PLAN

DRAWN BY M.M.
CHECKED BY S.P.
DATE 1/17/2023
SCALE AS NOTED
JOB NO.

SHEET  
**A1**

REVISIONS	BY



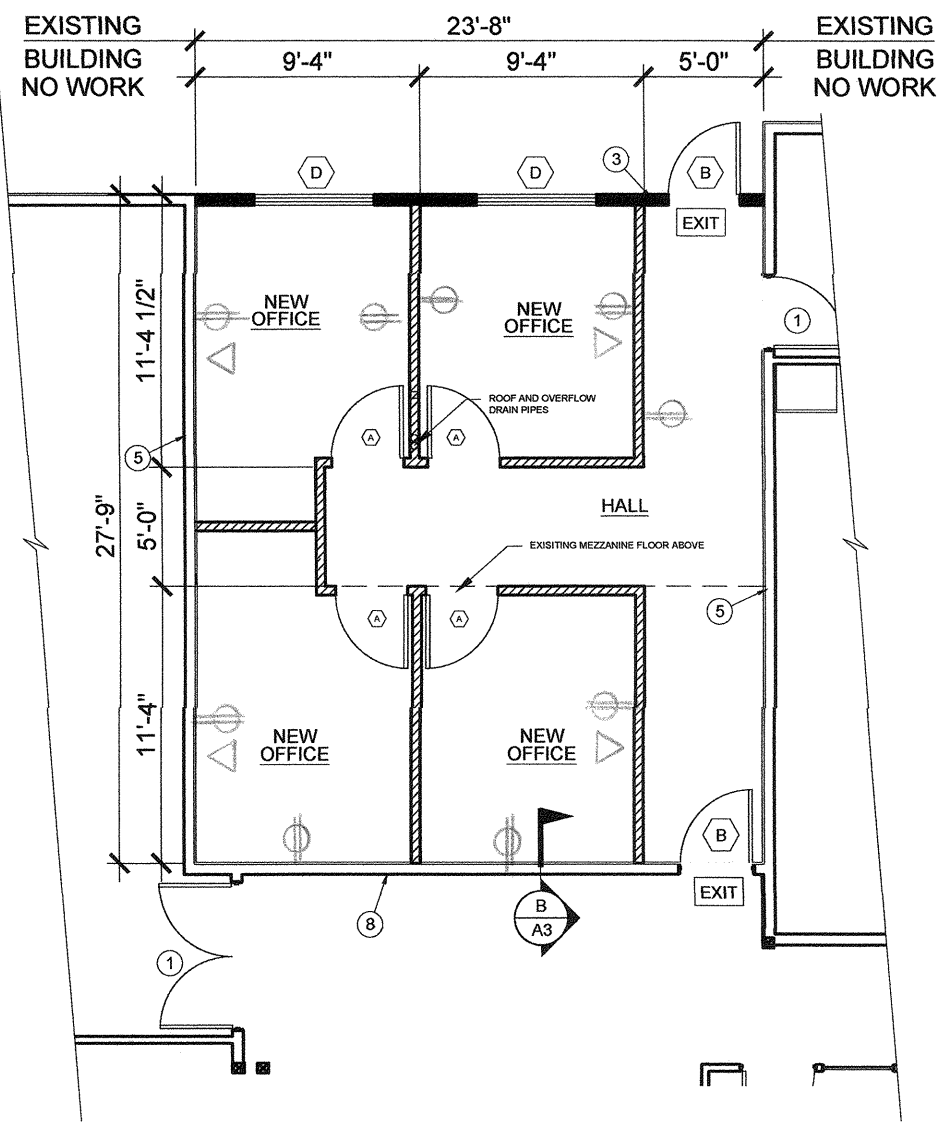
**Community Action Council Expansion**  
3020 WILLAMETTE DRIVE NE LACEY, WA 98516



**DRAWING:**  
PARTIAL FLOOR PLANS AND BATHROOM ELEVATIONS

DRAWN BY M.M.
CHECKED BY S.P.
DATE 1/17/2023
SCALE AS NOTED
JOB NO.
SHEET

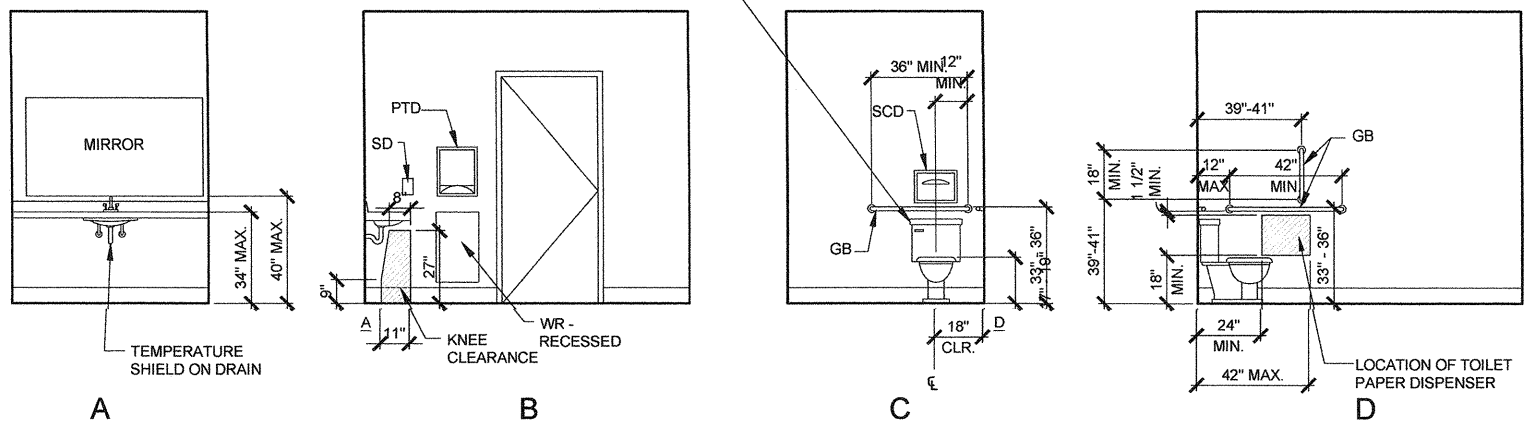
**A2**



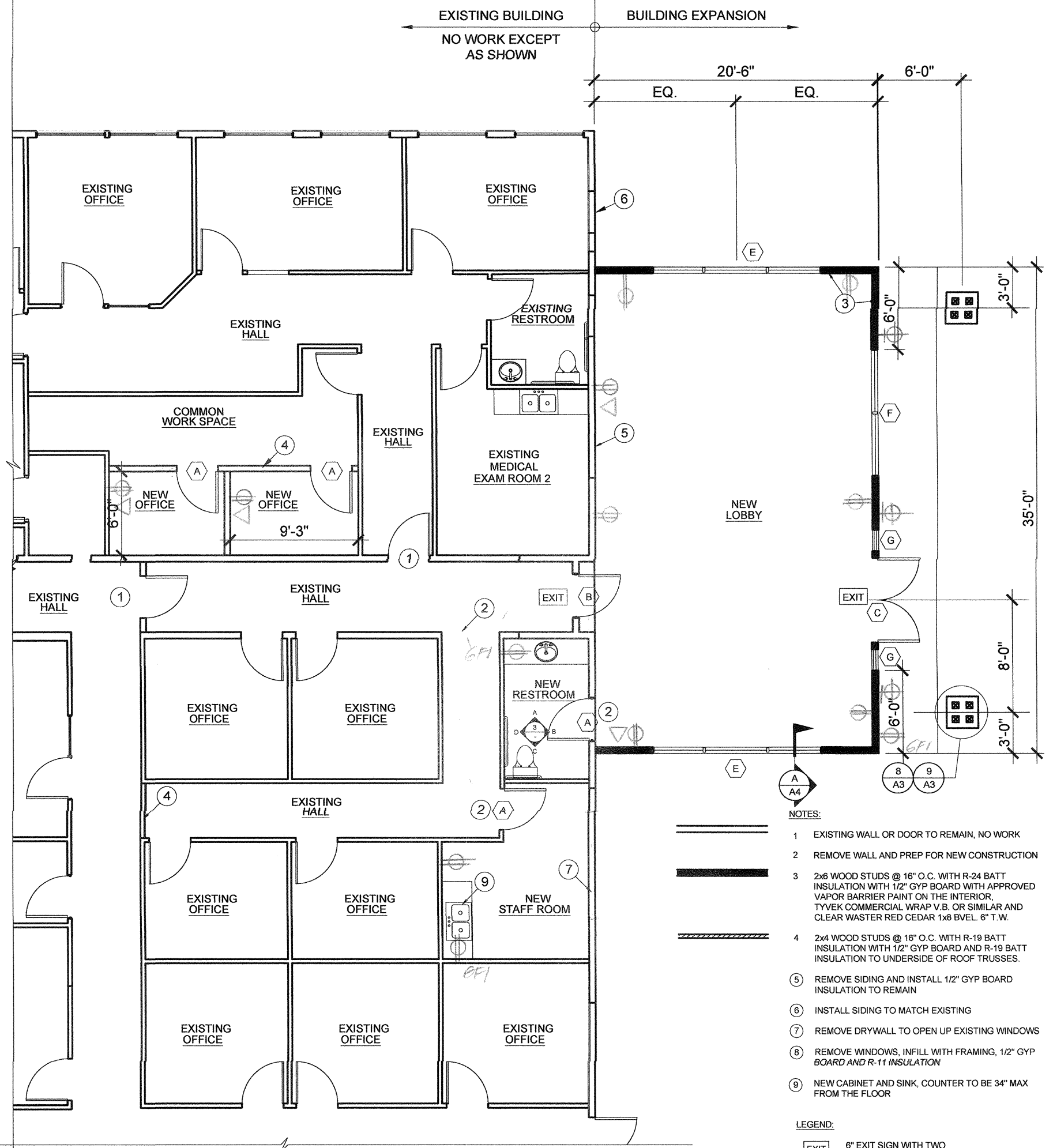
**1 PATIO INFILL FOR NEW OFFICES**  
SCALE: 3/16" = 1'-0"



FLUSH CONTROLS ARE MOUNTED FOR USE FROM WIDE SIDE OF WATER CLOSET AREA AND NOT MORE THAN 46" ABOVE FLOOR WITH FORCE TO ACTIVATE NO GREATER THAN 5 LBS.



**3 NEW BATHROOM ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**2 OVERALL FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



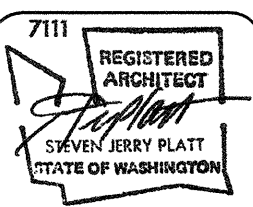
- NOTES:**
- EXISTING WALL OR DOOR TO REMAIN, NO WORK
  - REMOVE WALL AND PREP FOR NEW CONSTRUCTION
  - 2x6 WOOD STUDS @ 16" O.C. WITH R-24 BATT INSULATION WITH 1/2" GYP BOARD WITH APPROVED VAPOR BARRIER PAINT ON THE INTERIOR, TYVEK COMMERCIAL WRAP V.B. OR SIMILAR AND CLEAR WASTER RED CEDAR 1x8 BVEL. 6" T.W.
  - 2x4 WOOD STUDS @ 16" O.C. WITH R-19 BATT INSULATION WITH 1/2" GYP BOARD AND R-19 BATT INSULATION TO UNDERSIDE OF ROOF TRUSSES.
  - REMOVE SIDING AND INSTALL 1/2" GYP BOARD INSULATION TO REMAIN
  - INSTALL SIDING TO MATCH EXISTING
  - REMOVE DRYWALL TO OPEN UP EXISTING WINDOWS
  - REMOVE WINDOWS, INFILL WITH FRAMING, 1/2" GYP BOARD AND R-11 INSULATION
  - NEW CABINET AND SINK, COUNTER TO BE 34" MAX FROM THE FLOOR

- LEGEND:**
- EXIT: 6" EXIT SIGN WITH TWO SOURCES OF POWER
  - : OUTLET
  - △: DATA
  - ⊕: WAINSCOT, #125 ROUNDOFF FOR FIXTURE (EACH)

**WINDOW AND DOOR SCHEDULE**

MARK	WIDTH	HEIGHT	THK	MATERIAL	GLAZING	FRAME	HEAD	JAMB	SILL	REMARKS
(A)	3'-0"	7'-0"	1 3/4"	DF SC VENEER	-	HM	10/A4.0	10/A4.0	-	LEVER HANDLE
(B)	3'-0"	7'-0"	1 3/4"	DF SC VENEER	INSUL/TEMP	WOOD	1/A4.0	3/A4.0	5/A4.0	LEVER HANDLE, CLOSER AND 10" KICKPLATE, ELECTRIC STRIKE WITH CLOSER
(C)	3'-0" PAIR	7'-0"	-	ALUM	INSUL/TEMP	ALUM	6/A4.0	5/A4.0	-	STORE FRONT 1/2" MAX THRESHOLD, WITH 10" MIN BOTTOM RAIL, WITH CLOSER
(D)	5'-0"	5'-0"	-	VINYL	INSUL	WOOD	4/A4.0	7/A4.0	7/A4.0	DUAL GLAZED, FIXED GLASS, MATCH EXISTING
(E)	12'-0"	5'-0"	-	VINYL	INSUL	WOOD	4/A4.0	2/A4.0	7/A4.0	DUAL GLAZED, 3 LITES, FIXED GLASS, MATCH EXISTING
(F)	10'-0"	5'-0"	-	VINYL	INSUL	WOOD	4/A4.0	2/A4.0	7/A4.0	DUAL GLAZED, 2 LITES, FIXED GLASS, MATCH EXISTING
(G)	1'-6"	7'-0"	-	ALUM	INSUL/TEMP	ALUM	2/A4.0	-	-	STOREFRONT SIDELITE

REVISIONS	BY



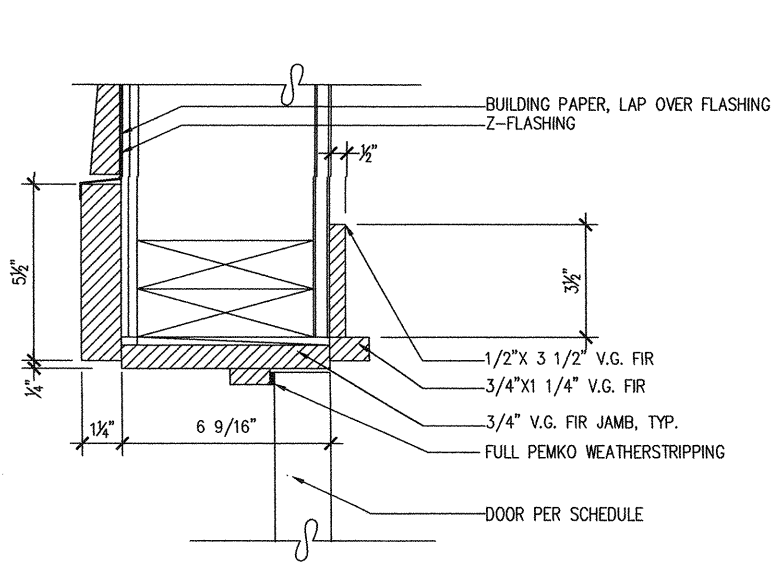
**Community Action Council Expansion**  
3020 WILLAMETTE DRIVE NE LACEY, WA 98516



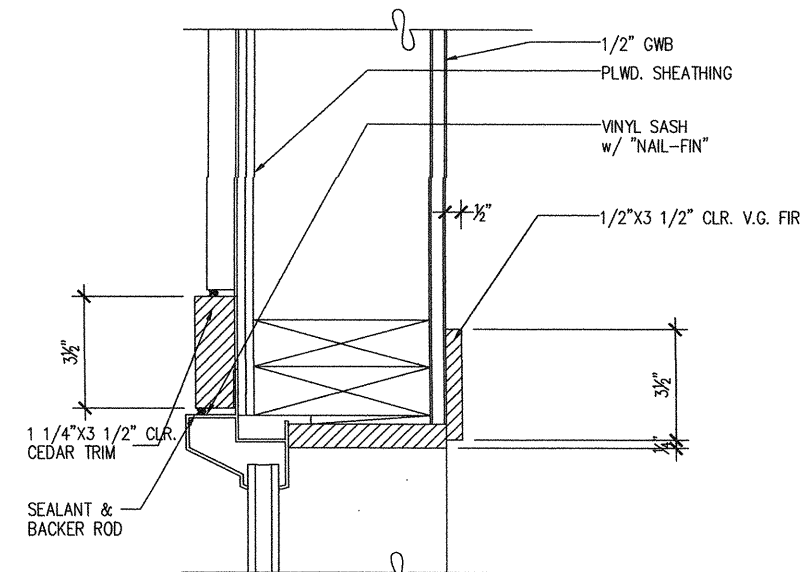
DRAWING:  
FRAMING DETAILS

DRAWN BY  
M.M.  
CHECKED BY  
S.P.  
DATE  
1/17/2023  
SCALE  
AS NOTED  
JOB NO.  
SHEET

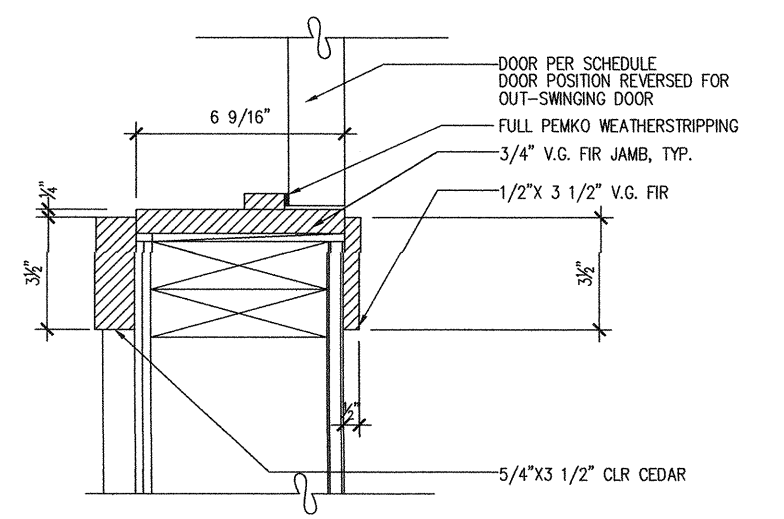
**A4**  
ELECTRICAL



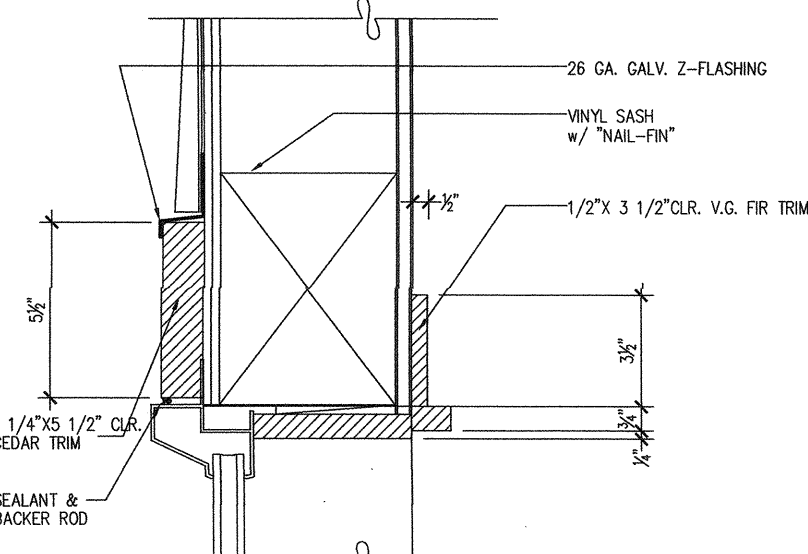
**1 EXTERIOR DOOR HEAD**  
SCALE: 3" = 1'-0"



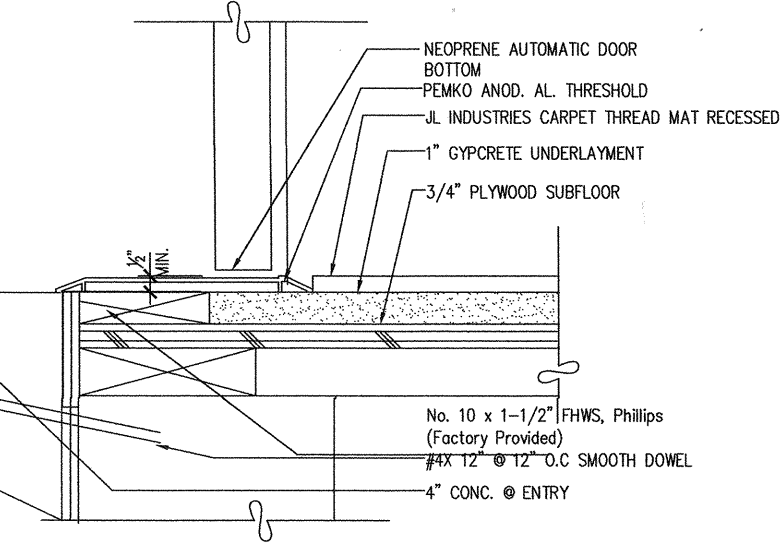
**2 TYPICAL JAMB**  
SCALE: 3" = 1'-0"



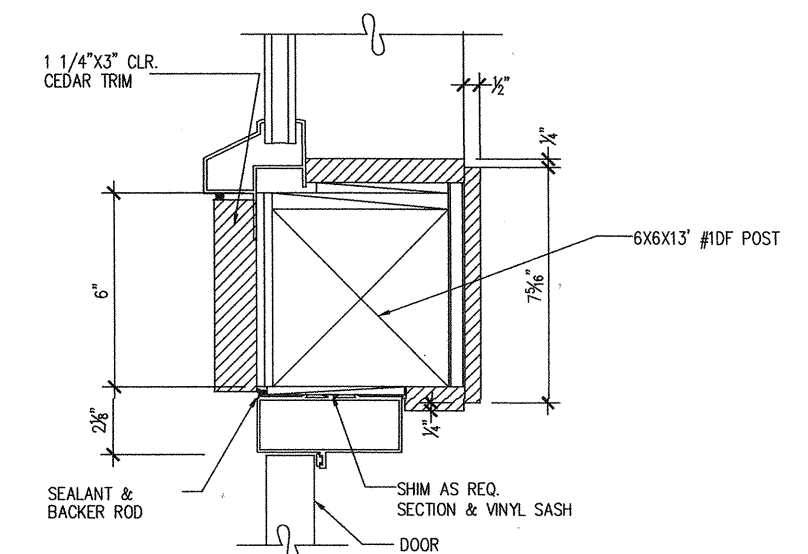
**3 EXTERIOR DOOR JAMB**  
SCALE: 3" = 1'-0"



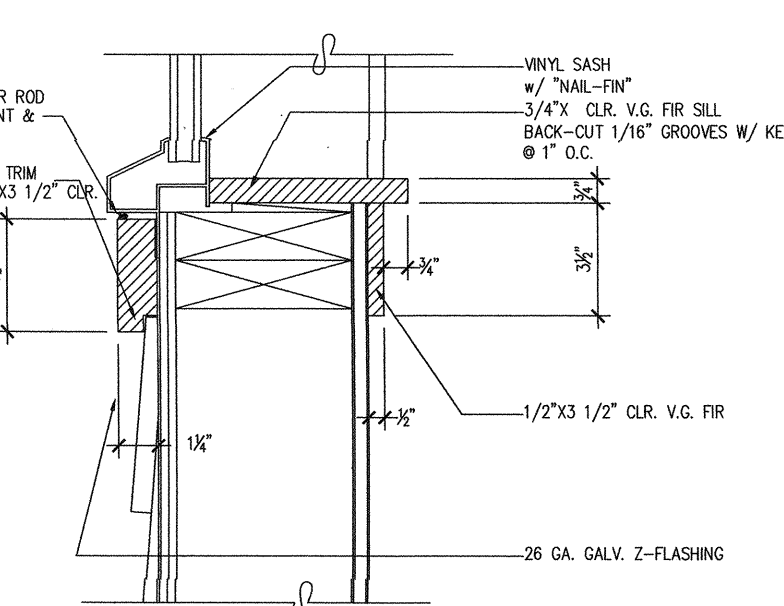
**4 WINDOW HEAD**  
SCALE: 3" = 1'-0"



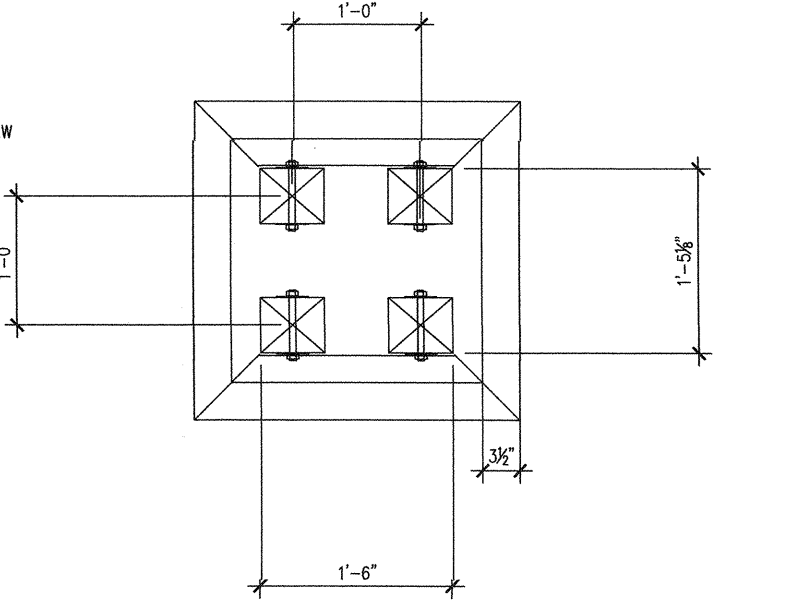
**5 EXTERIOR SILL**  
SCALE: 3" = 1'-0"



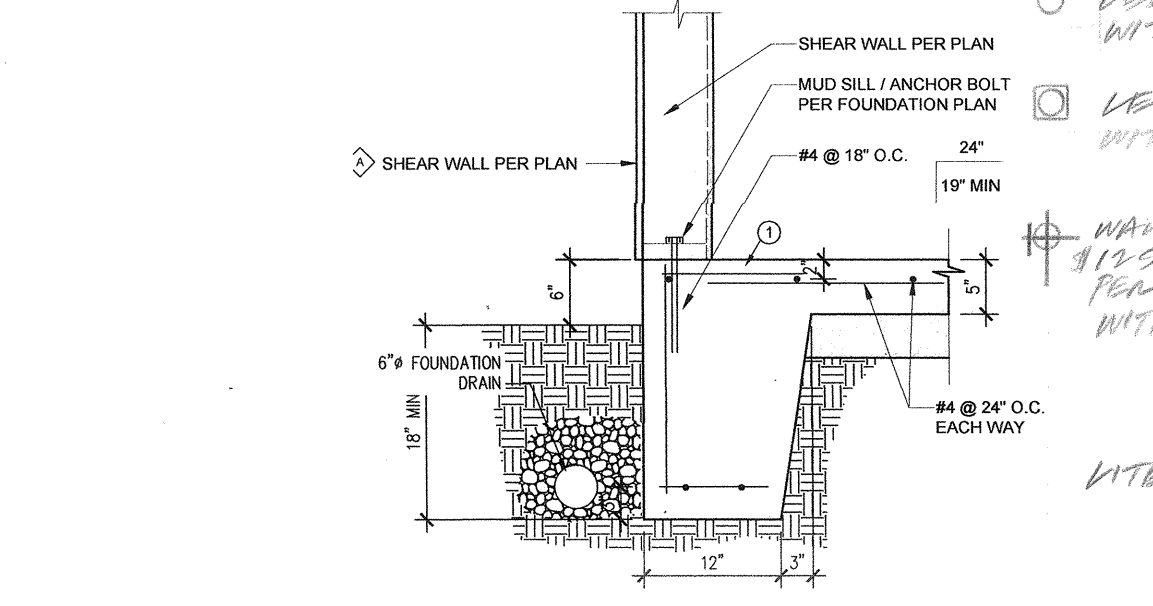
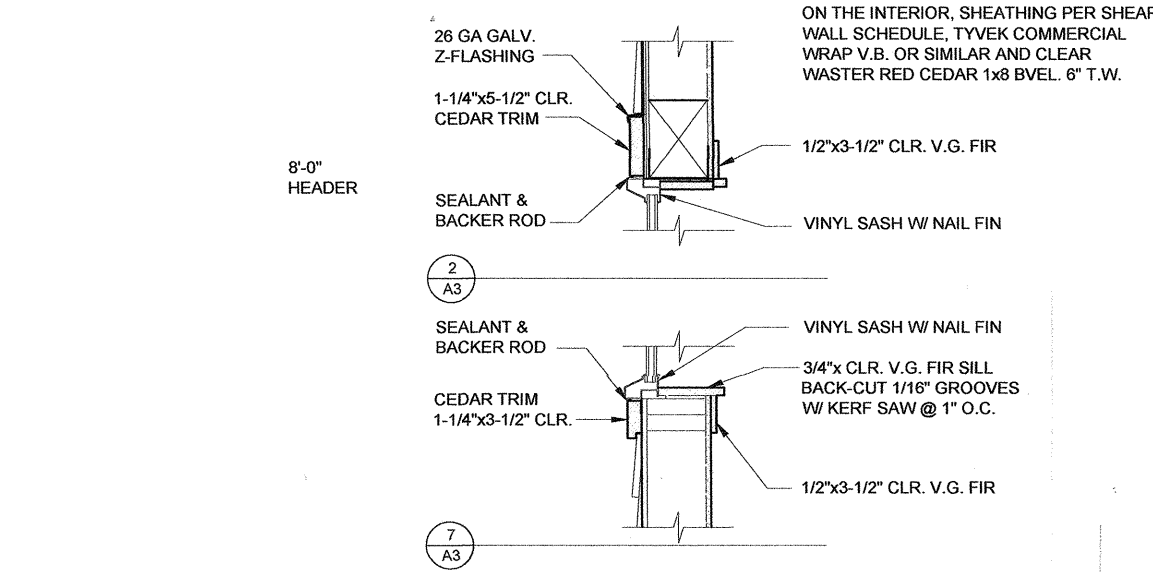
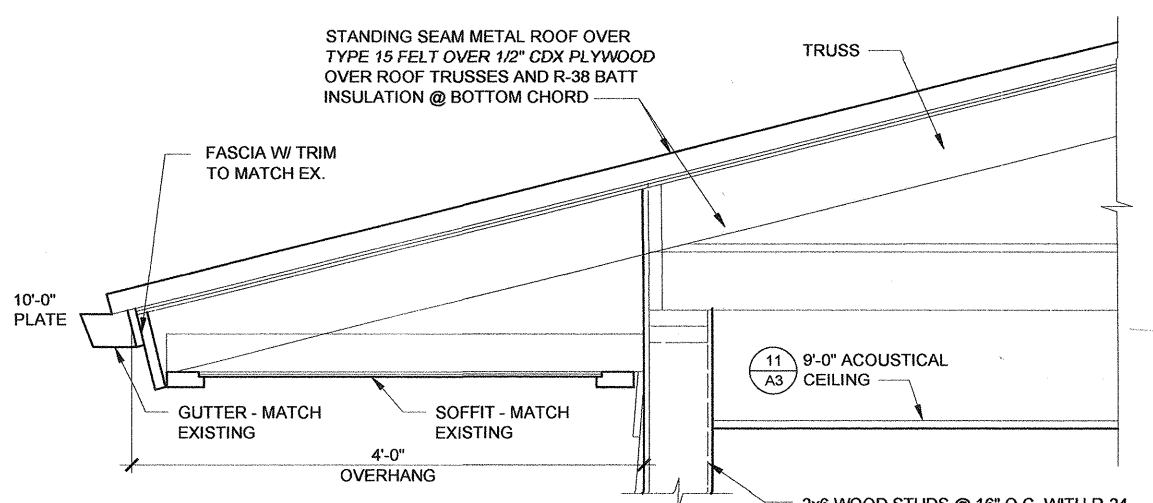
**6 JAMB @ MAIN ENTRY**  
SCALE: 3" = 1'-0"



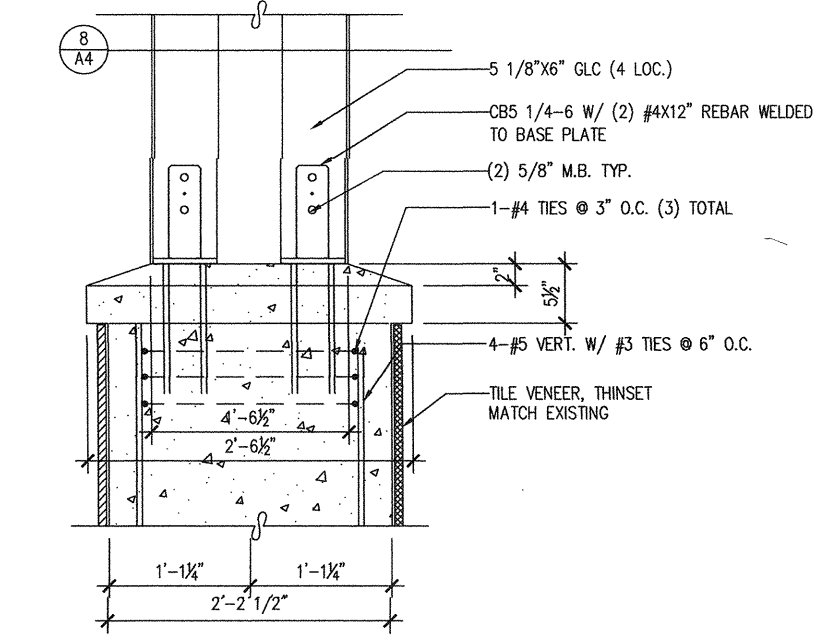
**7 WINDOW SILL**  
SCALE: 3" = 1'-0"



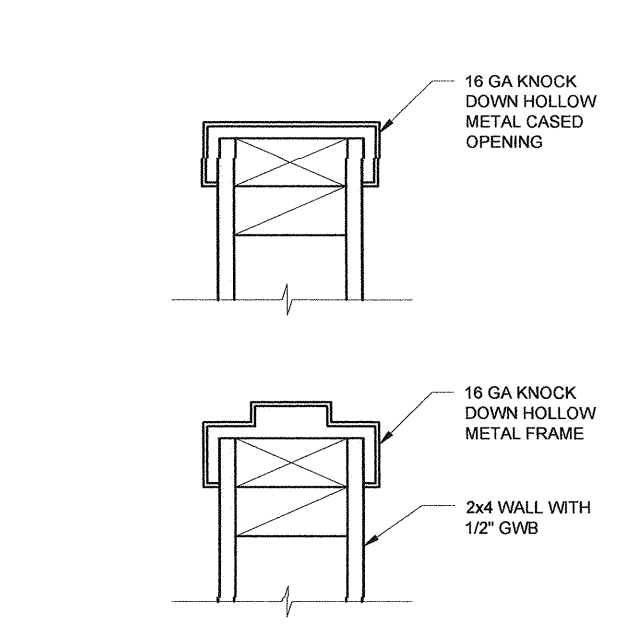
**8 EXTERIOR COL. @ ENTRY/PLAN VIEW**  
SCALE: 1" = 1'-0"



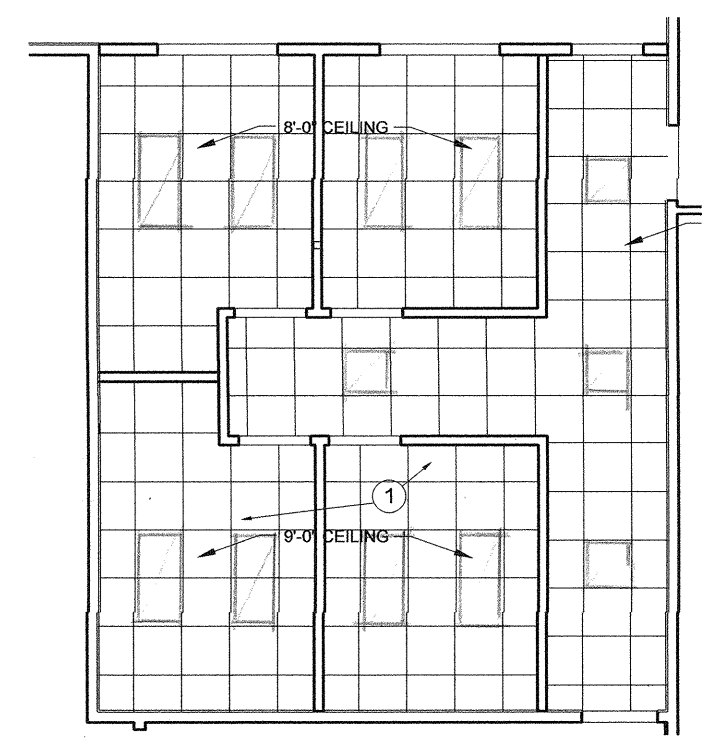
**A SECTION**  
SCALE: 1" = 1'-0"



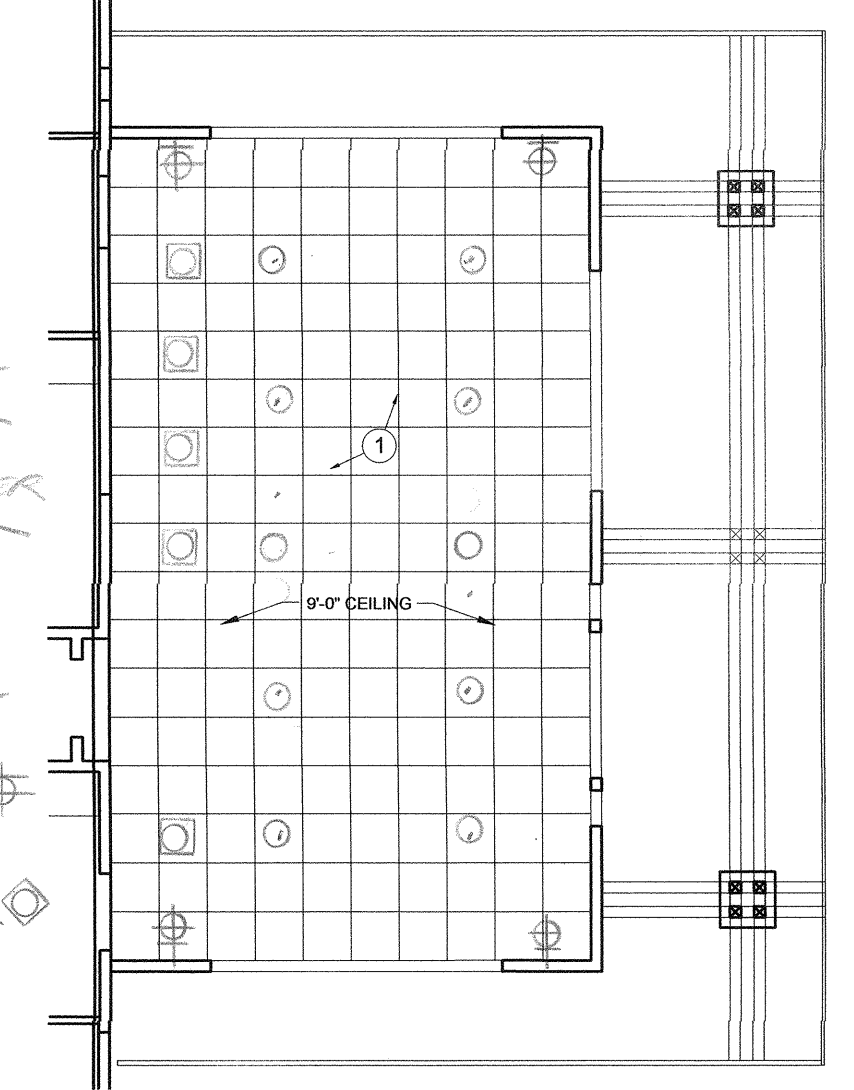
**9 EXTERIOR COL. @ ENTRY**  
SCALE: 1" = 1'-0"



**10 INTERIOR METAL FRAMES**  
SCALE: 3" = 1'-0"

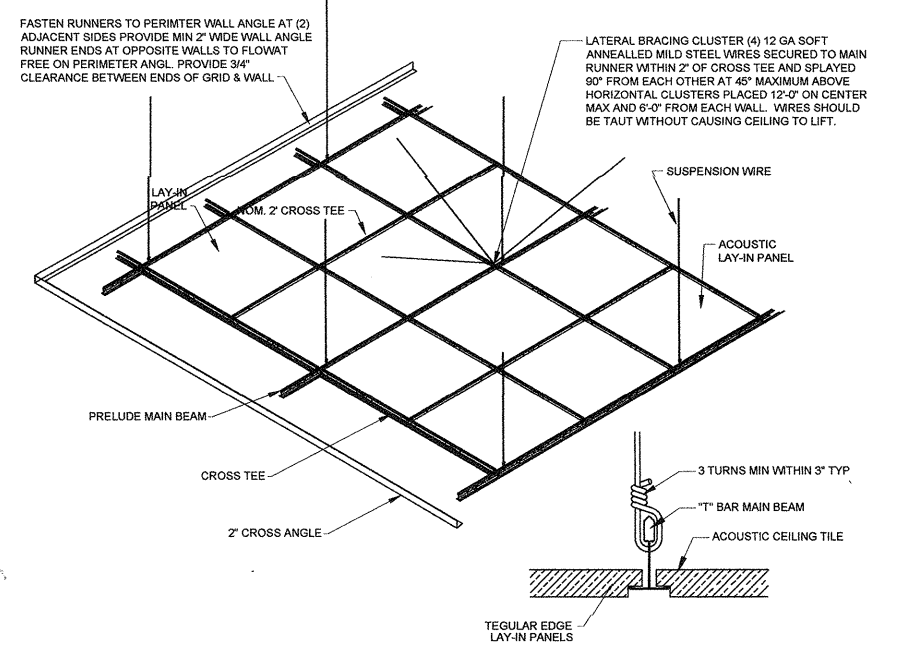


**4 OFFICE REFLECTED CEILING PLAN**  
SCALE: 3/16" = 1'-0"



**5 LOBBY REFLECTED CEILING PLAN**  
SCALE: 3/16" = 1'-0"

- NOTES:  
1. 2X2 ACOUSTICAL CEILING, MATCH EXISTING CEILINGS  
2. PLYWOOD PANELING, MATCH EXISTING SOFFIT MATERIAL



**11 ACOUSTICAL CEILING**  
NTS